

ADDENDUM NO. 3

FOR

Greenwood Maintenance Building Addition for:
Monroe Housing Commission
Greenwood Townhouses

JAMES S. JACOBS ARCHITECTS, PLLC
25 WASHINGTON STREET
MONROE, MICHIGAN 48161
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DATE: July 18, 2023
PROJECT NO.: 20222
PAGE 1 OF 4

THIS ADDENDUM IS ISSUED TO MODIFY, CLARIFY, AND ADD TO THE PREVIOUSLY ISSUED CONTRACT DOCUMENTS.

PLEASE ATTACH THIS ADDENDUM THERETO AND INCLUDE COST CHANGES IN THE FINAL BID. ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE APPROPRIATE SPACE ON THE PROPOSAL FORM.

DRAWINGS OR SKETCHES ISSUED:

None

SPECIFICATIONS ISSUED:

None

DRAWING CORRECTIONS, REVISIONS, MODIFICATIONS, OR CLARIFICATIONS:

Drawing S-1 – Foundation & Roof Framing Plans & Detail (Drawing Reissued):

REVISE: Gable framing revision showing standard truss framing.

Drawing A-1 – Floor Plan & Notes (Drawing Not Reissued):

TREATED LUMBER & CONNECTOR NOTES:

ADD to note #2: ALL COLUMN CAPS CONNECTORS ARE TO BE HOT DIPPED GALVANIZED AND COLUMN BASE CONNECTORS TO HAVE ZMAX FINISH AS ACCEPTABLE FINISHES IF STAINLESS STEEL IS NOT AVAILABLE.

Drawing A-6 – Wall Sections (Drawing Not Reissued):

DETAILS 16/A-1, 17– 18 /A-4, and 19/A-5

NOTE: 1/2" OSB ROOF SHEATHING

DELETE: 1/2"

ADD: 5/8"

Drawing A-12 – Room Finish Schedule, Material Specifications, & Notes (Drawing Not Reissued):

ADD: EPOXY COATING SPECIFICATION – ALTERNATE #2

MANUFACTURER: SHERWIN WILLIAMS

SYSTEM: ARMORSEAL 8100

PREP: CONCRETE SURFACE PREPARATION (CSP) 1-3

CSP 1 – ACID ETCHED, CSP 2 – GRINDING, CSP 3 – LIGHT SHOTBLAST

FIRST COAT: ARMORSEAL 8100, SATIN

SECOND COAT: ARMORSEAL 8100, SATIN

COLOR: AS SELECTED BY OWNER / ARCHITECT FROM STANDARD MANUFACTURER COLORS

Drawing E-1 – Legend & Luminaire Schedule (Drawing Not Reissued):

ADD: 3-WAY DIMMER: DIMMER, 0-10V, WITH 3-WAY FUNCTIONALITY, INCLUDE ADDITIONAL COMPONENTS AS REQUIRED FOR PROPER FUNCTION

ADD: SOS: SINGLE POLE SWITCH WITH INTEGRAL OCCUPANCY SENSOR

Drawing E-3 – Floor Plans - Lighting & Power (Drawing Reissued):

ADD: Lighting control devices as shown.

REVISE: Receptacle mounting heights in bathrooms and at counters as shown.

DELETE: Type Y on canopy door as shown.

ADD: Photocell to override all exterior lighting (indicated by “PC” as shown). “PC/SW” next to exterior lights indicates that fixture to be controlled by photocell but in line with master exterior light switch. If switch is turned on, all exterior lighting would be on at night and off during the day. If switch is off, only lights labeled with “PC” shall be on all night.

Drawings E-6 & E-7 – Electrical Specifications

DELETE: 26 0574 - ARC FLASH PROGRAM – Entire Section

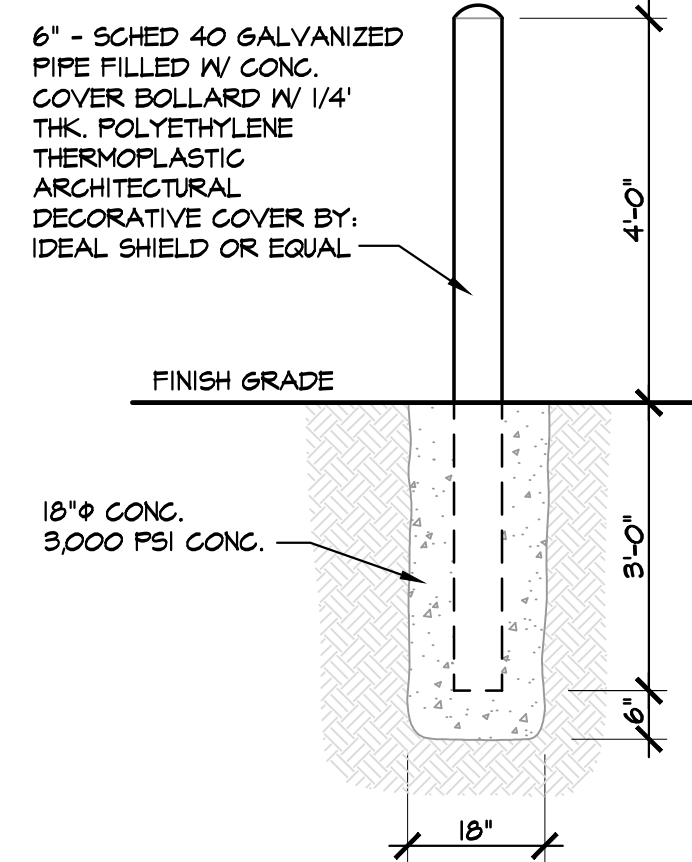
SPECIFICATION CORRECTIONS, REVISIONS, MODIFICATIONS, OR CLARIFICATIONS:

None

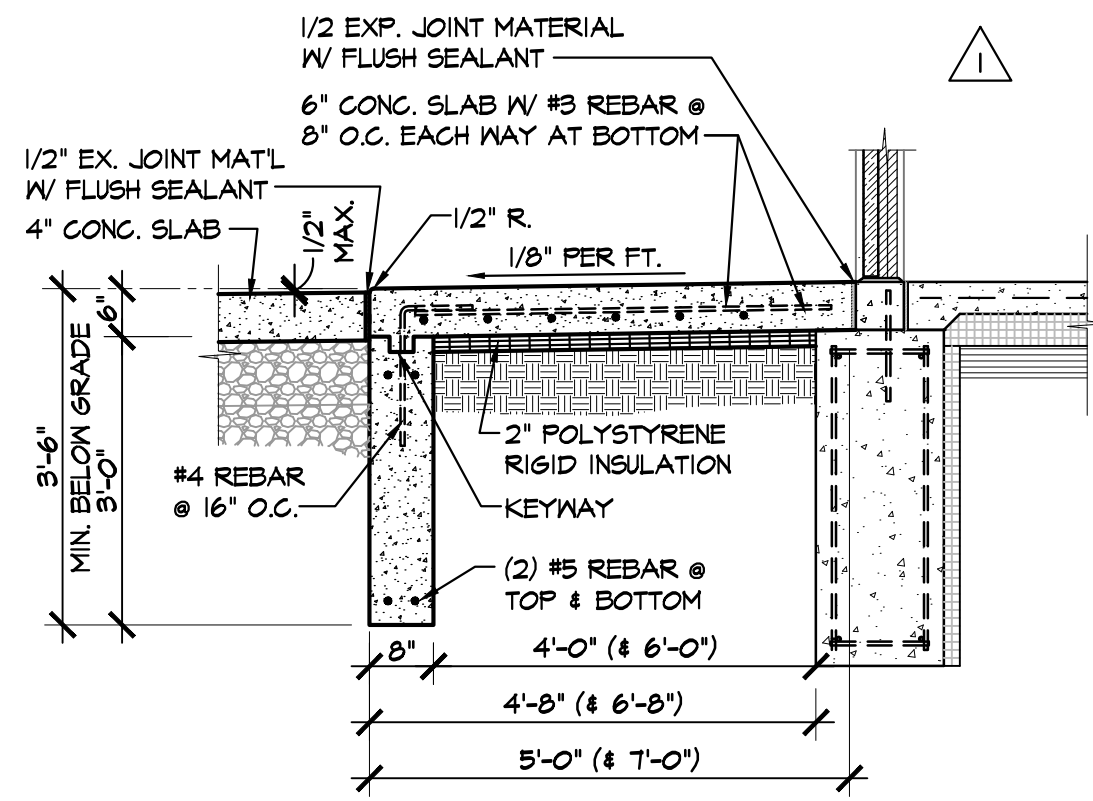
END OF ADDENDUM NO. 3

FOUNDATIONS AND EARTHWORK:

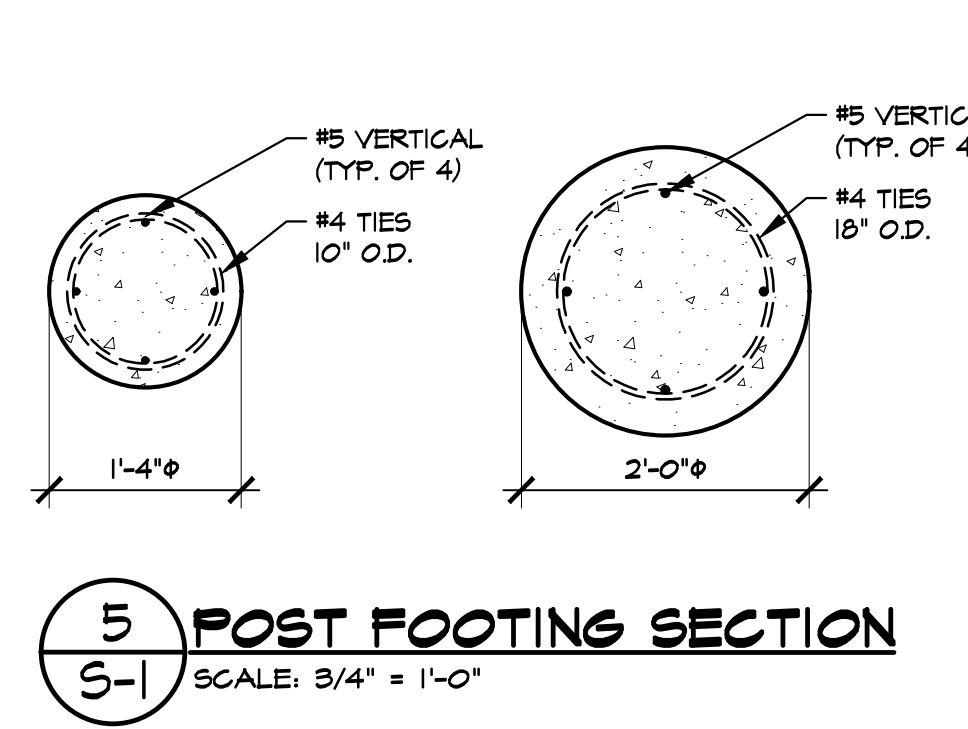
- FOOTINGS & FOUNDATIONS ARE DESIGNED TO BEAR ON UNDISTURBED SOIL, COMPACTED FILL MATERIAL, OR CONTROLLED LOW STRENGTH MATERIAL (CLSM) WITH A NET BEARING CAPACITY OF 1500 PSF. VERIFY BEARING CAPACITY OF SOIL AT BOTTOM OF EXCAVATIONS BEFORE CONSTRUCTING FOOTINGS. IF ACTUAL BEARING CAPACITY IS LESS THAN THE DESIGN CAPACITY IMMEDIATELY NOTIFY ARCHITECT. INCREASE DEPTH OF FOOTINGS OR OVER EXCAVATE UNSUITABLE SOILS AND REPLACE WITH COMPACTED FILL OR CLSM MAYBE REQUIRED AS DIRECTED BY THE ARCHITECT.
- DESIGN AND INSTALL TEMPORARY SYSTEMS FOR EXCAVATION Dewatering AND EXCAVATION BRACING AS REQUIRED FOR PROPER EXECUTION OF THE WORK. REMOVE TEMPORARY SYSTEMS AFTER CONSTRUCTION IS COMPLETED UNLESS INDICATED OR APPROVED.
- PREPARE SUBGRADE AND CONSTRUCT BUILDING PAD IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND / OR GEOTECHNICAL REPORT. IF AVAILABLE, PROOF ROLL SUBGRADE TO DISCOVER PEAK OR UNSUITABLE SOILS. PLACE FILL IN MAXIMUM 9" LIFTS AND COMPACT TO 95% OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557-02 (MODIFIED PROCTOR TEST). FILL UNDER FOUNDATIONS AND BACKFILL IN EXCAVATIONS SHALL BE COARSE SAND, GRAVEL, OR CRUSHED STONE. SUBGRADE UNDER SLABS-ON-GRADE SHALL BE MINIMUM 4" INCH DEEP, CRUSHED STONE PLACED TO A TOLERANCE OF +0 TO 3/4" INCH.
- DO NOT CONSTRUCT FOOTINGS OR SLABS ON FROZEN SOILS, ON FROST, OR IN EXCAVATIONS CONTAINING STANDING WATER. KEEP EXCAVATIONS DRY AND PROTECT SUBGRADES, FOOTINGS, AND SLABS FROM FROST HEAVE.
- CENTER FOOTINGS UNDER COLUMNS AND WALLS UNLESS DETAILED OTHERWISE. TOP AND BOTTOM OF FOOTINGS SHALL BE LEVEL. STEP FOOTINGS WHERE IT IS NECESSARY TO CHANGE BEARING ELEVATIONS.
- BEAR EXTERIOR FOOTINGS, FOOTINGS ADJACENT TO THE BUILDING PERIMETER AND FOOTINGS IN AREAS WHICH WILL REMAIN UNHEATED DURING NORMAL OCCUPANCY, AT A MINIMUM FROST DEPTH OF 3'-6" BELOW GRADE. BEAR INTERIOR FOOTINGS AT ELEVATIONS INDICATED.
- REFERENCE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR SLEEVES, INSERTS, ANCHORS, AND OTHER MATERIALS TO BE EMBEDDED IN FOUNDATIONS.



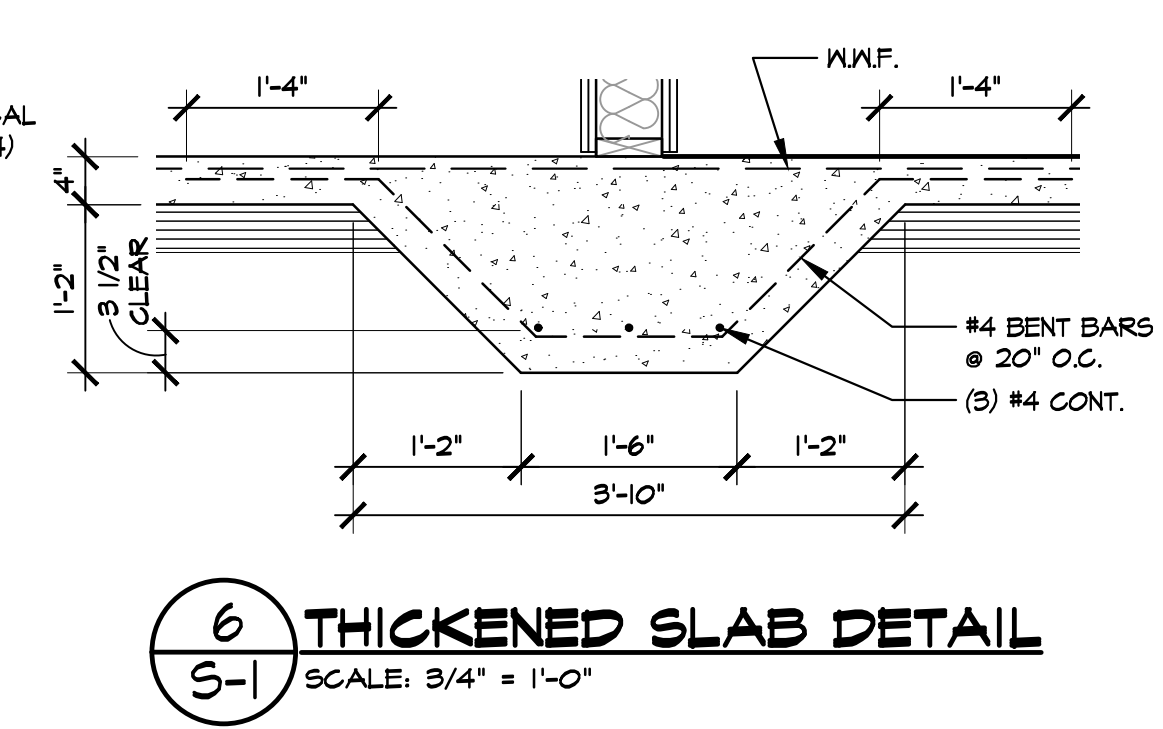
3 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



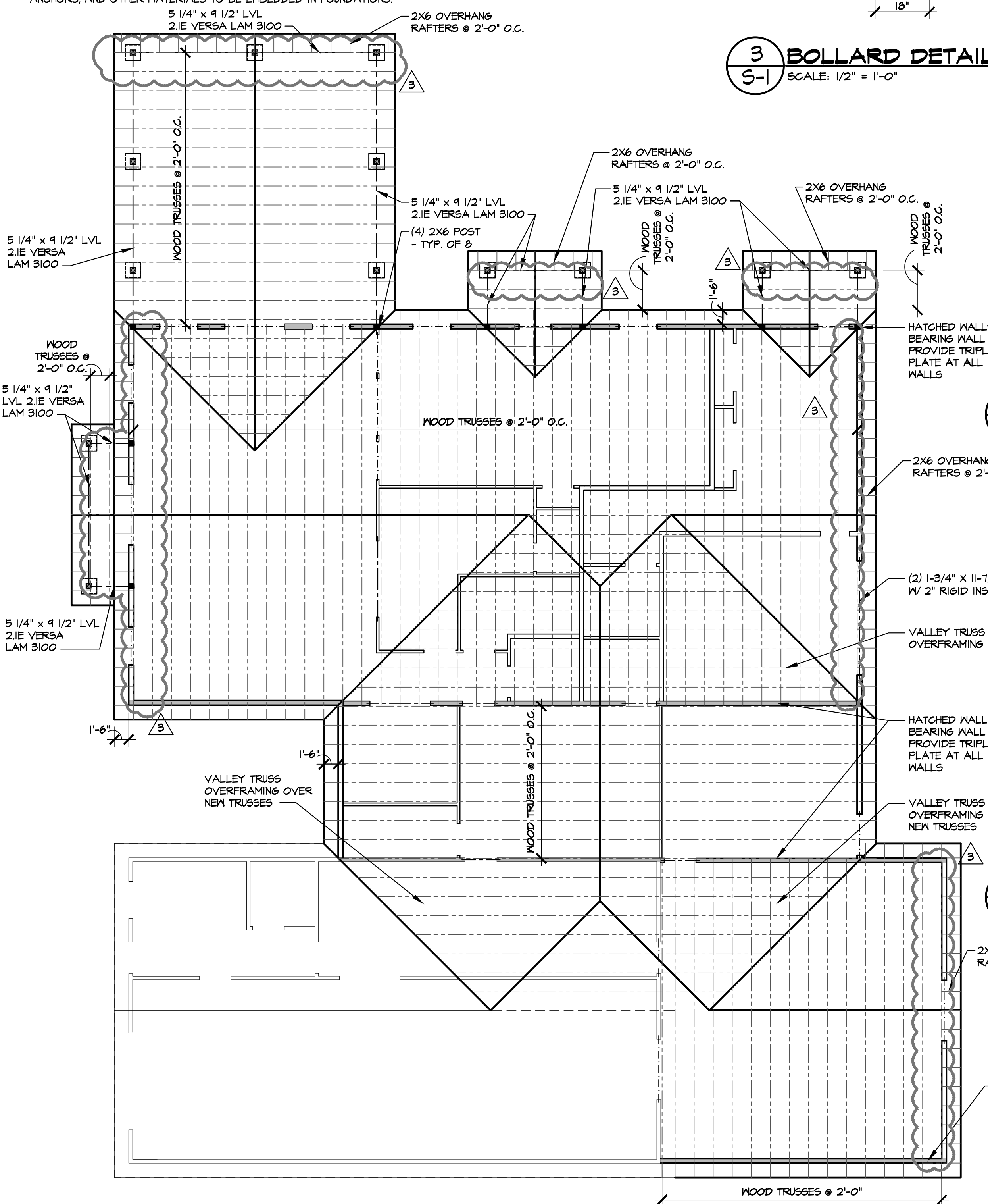
4 FROST SLAB SECTION
SCALE: 1/2" = 1'-0"



5 POST FOOTING SECTION
SCALE: 3/4" = 1'-0"



6 THICKENED SLAB DETAIL
SCALE: 3/4" = 1'-0"

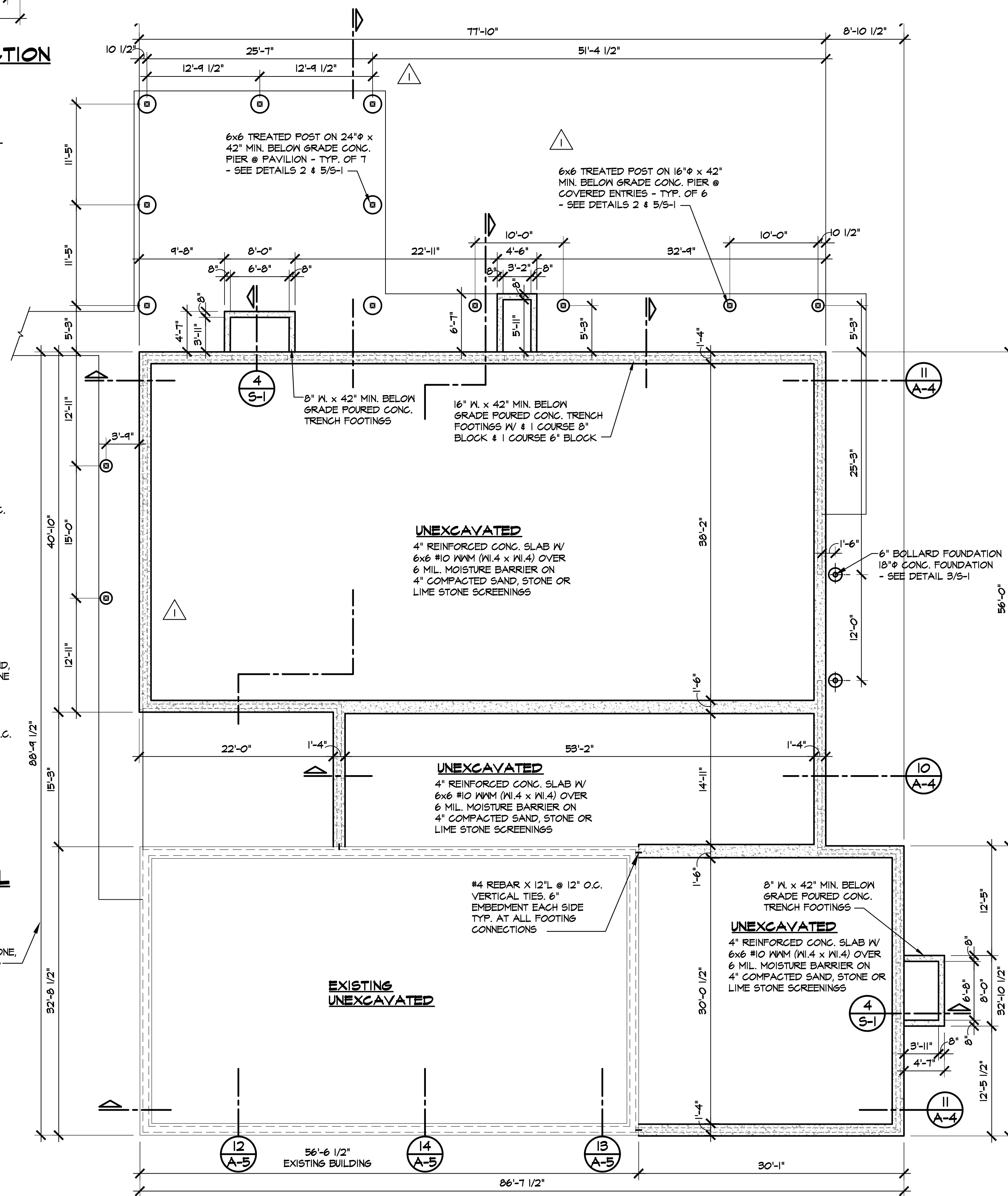


2 POST FOOTING DETAIL
SCALE: 3/4" = 1'-0"

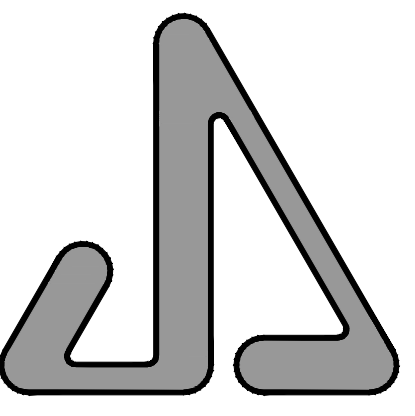
1 TRENCH FOOTING DETAIL
SCALE: 3/4" = 1'-0"

HEADER SCHEDULE		
OPENING (MAX.)	MEMBER SIZE	BEARING
3'-4"	(2) 2X8 SFF #1/#2	1-1/2"
4'-0"	(2) 2X10 SFF #1/#2	3"
5'-4"	(2) 2X12 SFF #1/#2	3"
6'-8"	(2) 2X12 SFF #1/#2	3"
9'-4"	(2) 1-3/4" X 11-1/4" LVL	3"
11'-4"	(2) 1-3/4" X 11-1/4" LVL	3"

PLAN NORTH
ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



PLAN NORTH
FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



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GREENWOOD MAINTENANCE
BUILDING ADDITION FOR:

MONROE HOUSING
COMMISSION:
GREENWOOD
TOWNHOUSES
900 GREENWOOD AVENUE
MONROE, MICHIGAN 48162

PROPERTY CONTACT:
NANCY WAIN, EXEC. DIRECTOR
MONROE HOUSING COMMISSION
20 NORTH ROESSLER STREET
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**FOUNDATION &
ROOF FRAMING
PLANS & DETAILS**

07-18-2023 ADDENDUM NO.3
06-23-2023 ADDENDUM NO.1
06-21-2023 BIDS

DATE: ISSUED FOR:

DRAWN: JLM

REVIEW'D: JSJ

20222

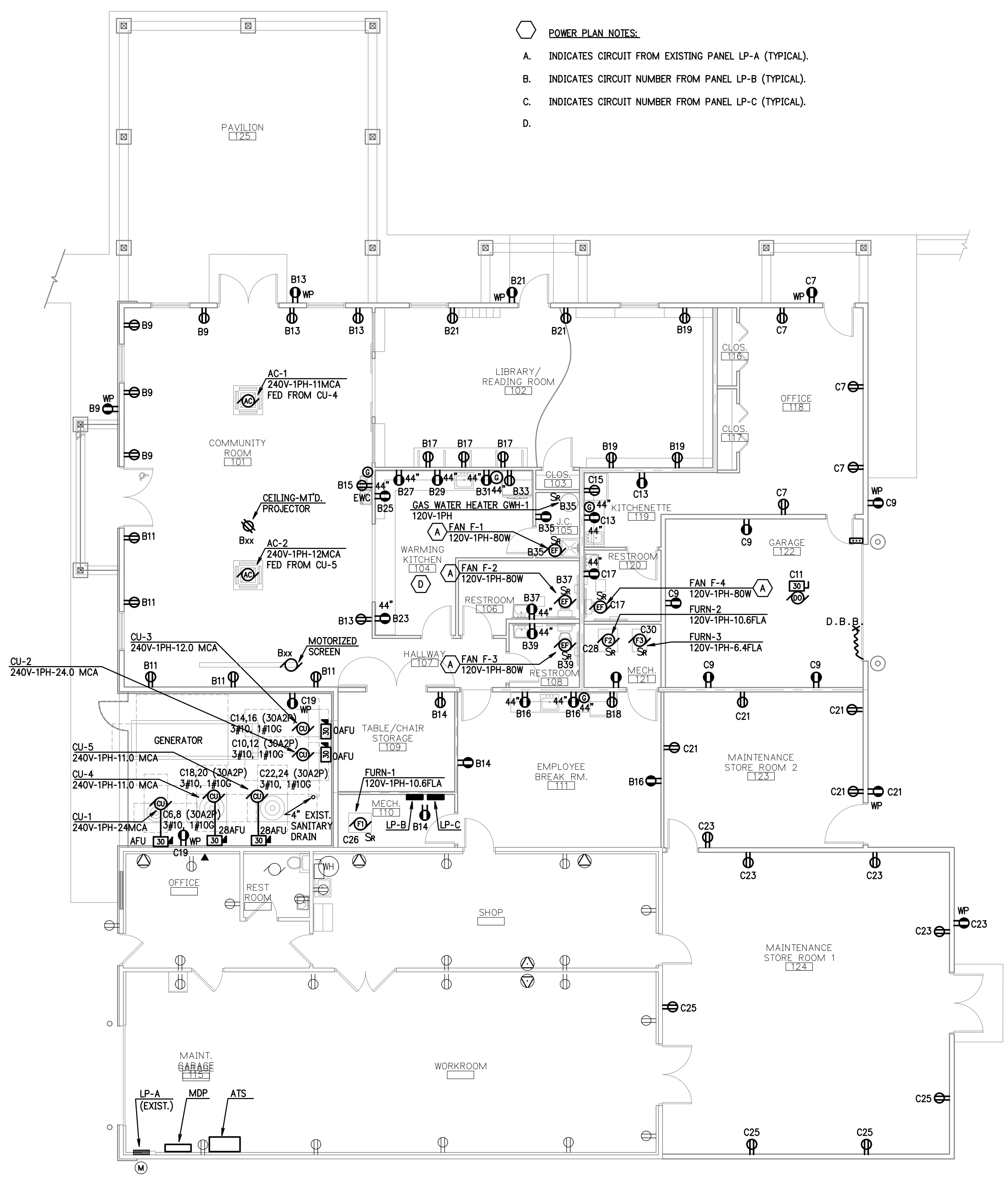
S-1

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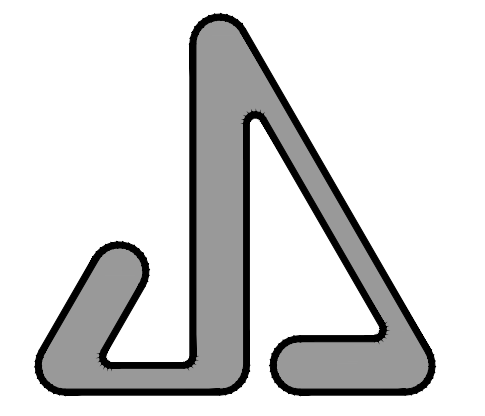
FLOOR PLAN - LIGHTING
SCALE: 1/8"=1'-0"



FLOOR PLAN - POWER
SCALE: 1/8"=1'-0"

PLAN NOTES:

- A. INTERLOCK FAN WITH LIGHTS.



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GREENWOOD MAINTENANCE BUILDING ADDITION FOR:

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902 GREENWOOD AVENUE
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FLOOR PLANS LIGHTING & POWER

NOT FOR CONSTRUCTION

07-19-2023 ADDENDUM NO. 3
06-23-2023 ADDENDUM NO.1
06-21-2023 BIDS
DATE: ISSUED FOR:

DRAWN: RKB
REVIEW'D: DTK

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